

ST. JOHN'S WORT GROUNDCOVER



SHADEMASTER HONEY LOCUST STREET TREE



SHENANDOAH SWITCHGRASS



PRE-GROWN SEDUM MATS FOR GREEN ROOF



DWARF OAKLEAF HYDRANGEA



SHAMROCK INKBERRY



1 DDOT CONCRETE SIDEWALK



2 DDOT CONCRETE CURB



3 DDOT GRANITE CURB AND BRICK GUTTER



4 EXISTING COBRAHEAD STREETLIGHT



5 DDOT BIKE RACK



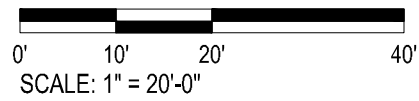
6 EXISTING ADA RAMP

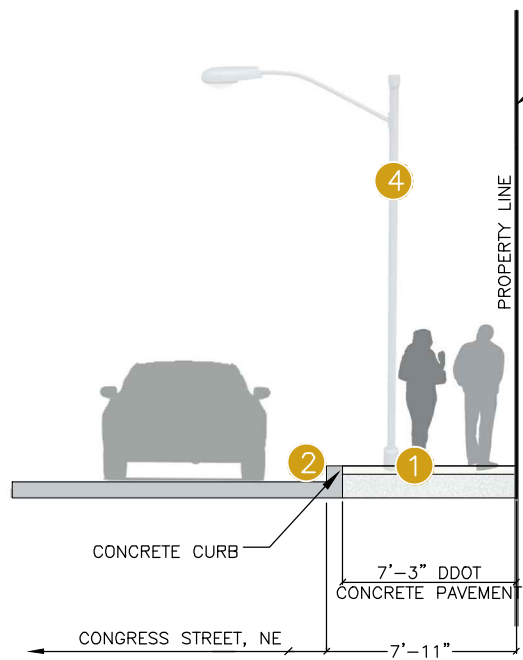
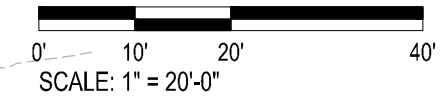
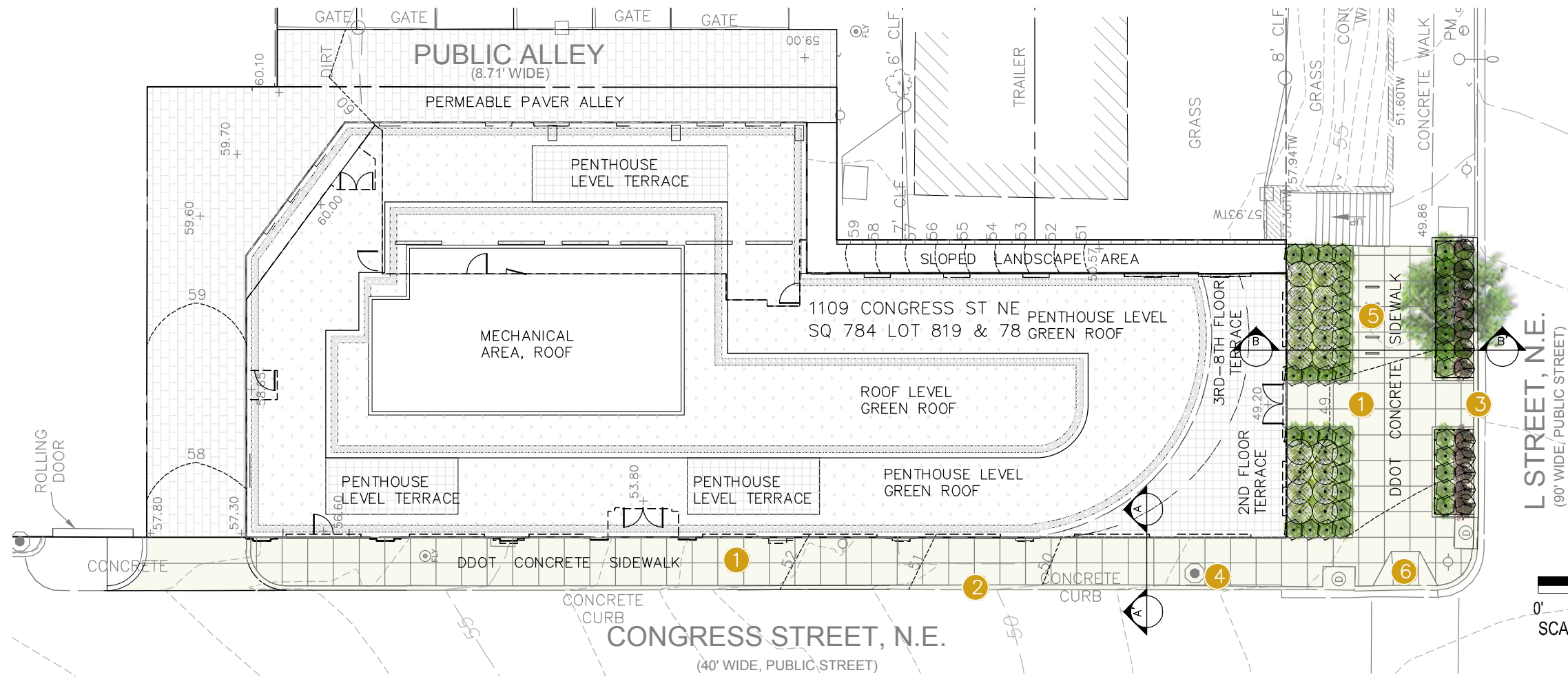


7 PERMEABLE PAVERS

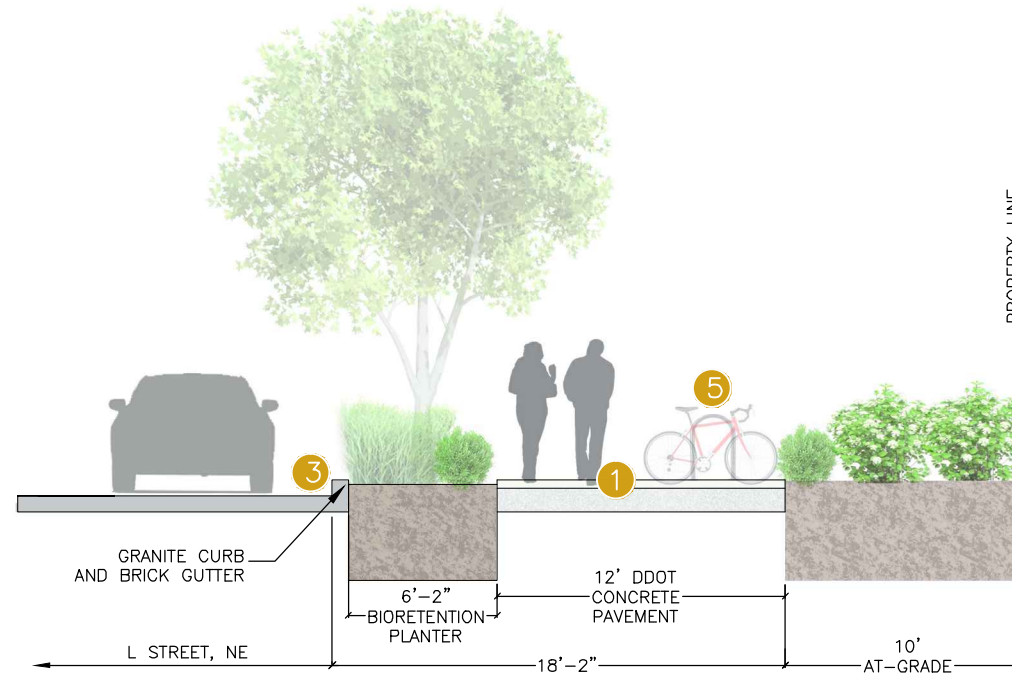


8 ROOFTOP PAVERS

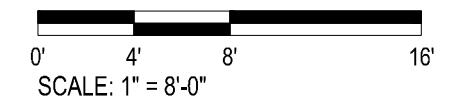


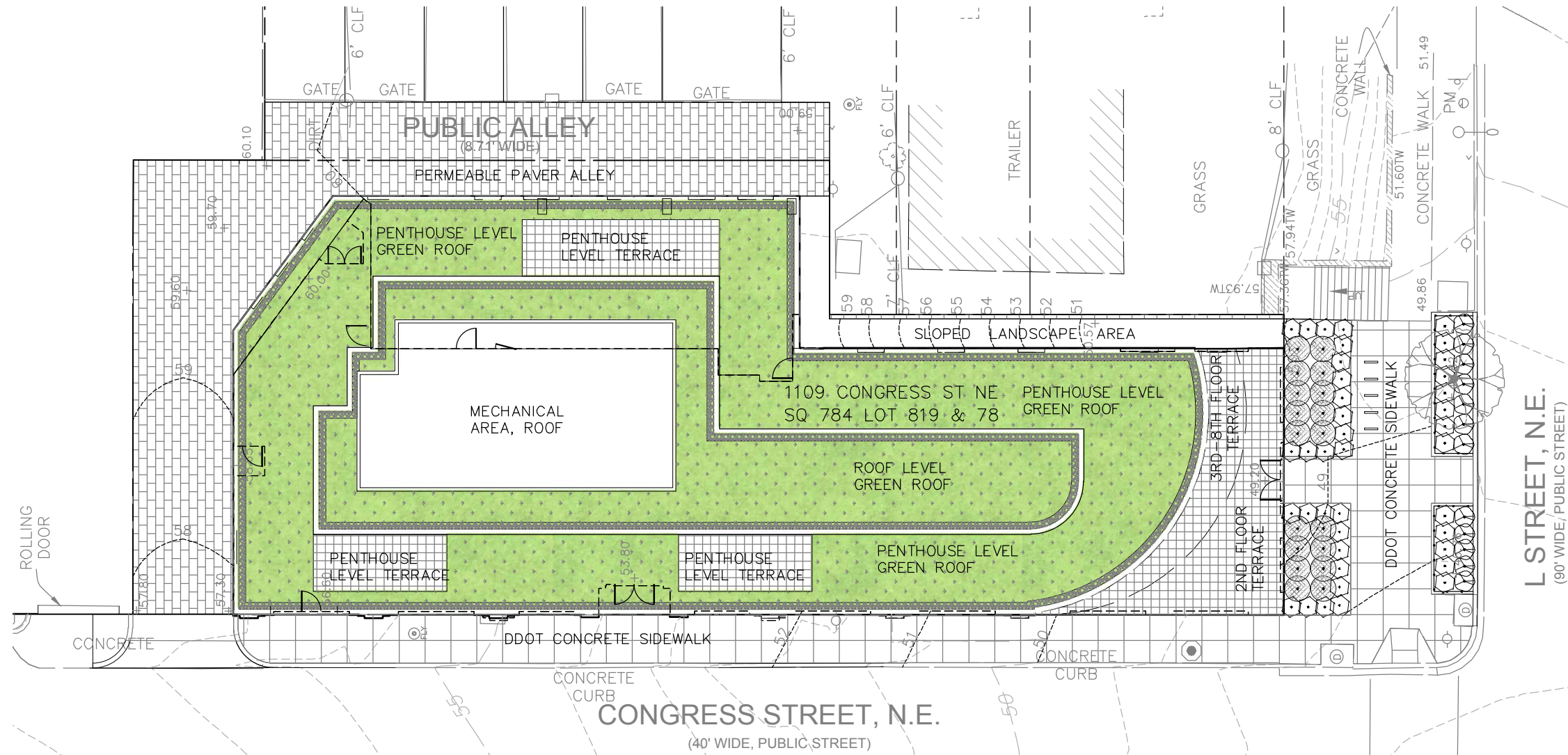


SECTION A-A'



SECTION B-B'





PLANT SCHEDULE

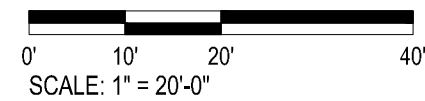
SYMBOL	QTY	BOTANICAL / COMMON NAME
	3,300 SF	PRE-GROWN SEDUM MATS WITH MINIMUM 7 SEDUM VARIETIES FROM THE FOLLOWING LIST. PROVIDE 75% EVERGREEN PLANTS. ALLIUM CERNUUM ALLIUM SCHOENOPRASUM, ALLIUM SENESCENS SP. MONTANUM VAR. GLAUCUM DELOSPERMA COOPERI, DELOSPERMA NUBIGENUM DIANTHUS CARTHUSIANORUM PHEDIMUS TAKESIMENSIS 'GOLDEN CARPET' SEDUM ACRE SEDUM AIZOON 'EUPHORBIODES' SEDUM ALBUM, SEDUM ALBUM 'MURALE' SEDUM HYBRIDUM 'IMMERGRUNCHEN' SEDUM KAMTSCHATICUM SEDUM KAMTSCHATICUM VAR. FLORIFERUM 'WEIHENSTEPHANER GOLD' SEDUM PULCHELLUM SEDUM REFLEXUM 'BLUE SPRUCE' SEDUM RUPESTRE 'ANGELINA' SEDUM SIEBOLDII SEDUM SEXANGULARE SEDUM SPURIUM 'FULDAGLUT' AND OTHER CULTIVARS TALINUM CALYCIUM

GAR SUMMARY

GREEN ROOF, 2"-8" 3,300 SF

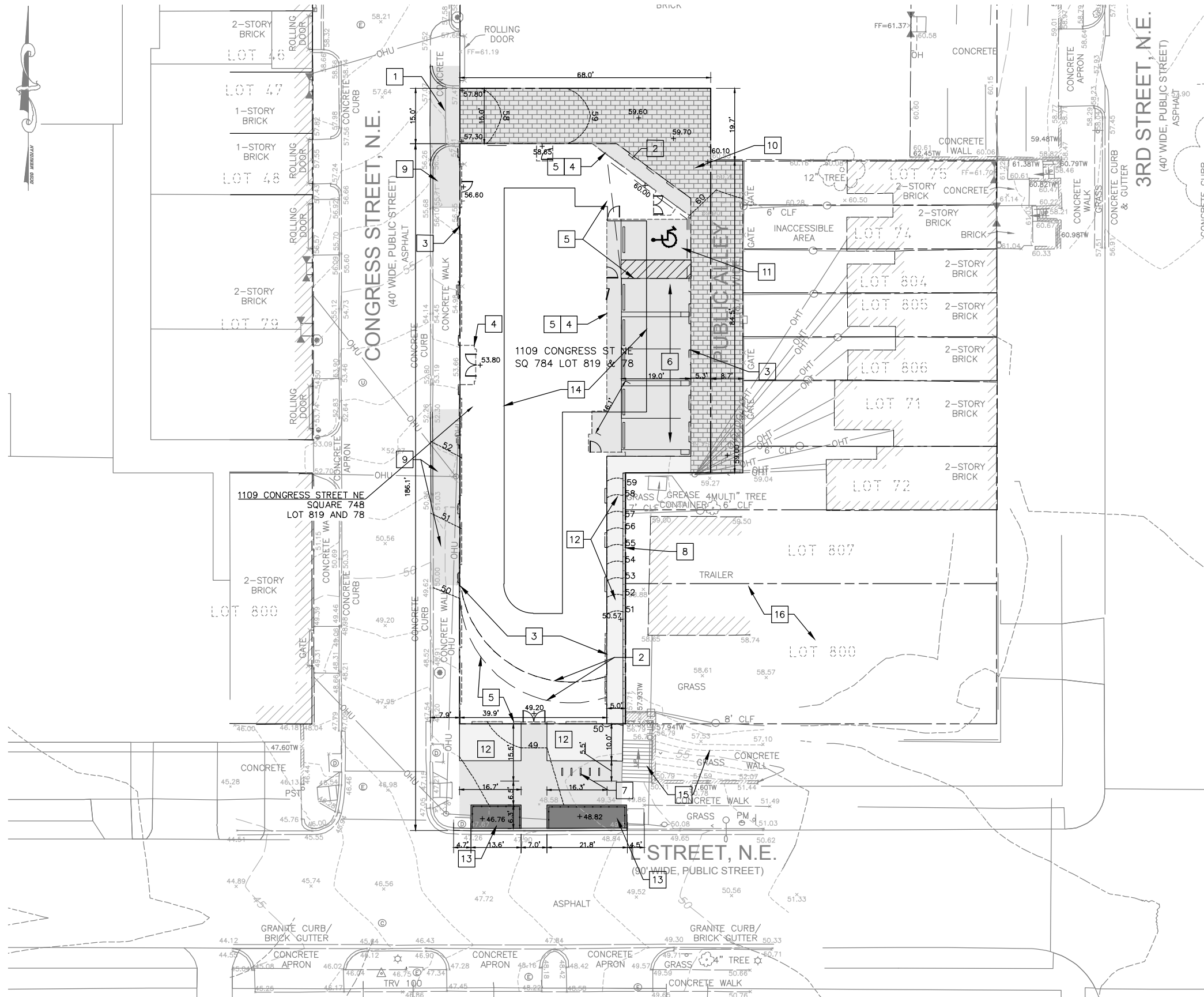
REQUIRED GREEN ROOF SCORE = 0.3

NOTE: GREEN AREA RATIO SCORE IS PRELIMINARY AND SUBJECT TO CHANGE WITH DESIGN DEVELOPMENT



Green Area Ratio Scoresheet		Square	Lot	Zone District
Address: 1109 Congress Street NE		819	748	C-2-B
DRAFT SCORESHEET		Lot area (#)	Multiplier	GAR score
Lot size (enter this value first) *		6,472	SCORE	0.306
Landscape Elements		Square Feet	Factor	Total
A Landscaped areas (select one of the following for each area)				
1	Landscaped areas with a soil depth < 24"	0	0.3	-
2	Landscaped areas with a soil depth ≥ 24"	0	0.6	-
3	Bioretention facilities	0	0.4	-
B Plantings (credit for plants in landscaped areas from Section A)				
1	Groundcovers, or other plants < 2' height	0	0.2	-
2	Plants ≥ 2' height at maturity - calculated at 9-sf per plant	0	0.3	-
Coverage for Shrubs, Perennials, and Grasses ≥ 2' height		0		
Trees with < 400 cubic feet of soil or below minimum planting size		0		
3	New trees with less than 40-foot canopy spread - calculated at 50 sq ft per tree	0	0.5	-
4	New trees with 40-foot or greater canopy spread - calculated at 250 sq ft per tree	0	0.6	-
5	Preservation of existing tree 6" to 12" DBH - calculated at 250 sq ft per tree	0	0.7	-
6	Preservation of existing tree 12" to 18" DBH - calculated at 600 sq ft per tree	0	0.7	-
7	Preservation of existing trees 18" to 24" DBH - calculated at 1300 sq ft per tree	0	0.7	-
8	Preservation of existing trees 24" DBH or greater - calculated at 2000 sq ft per tree	0	0.8	-
9	Vegetated wall, plantings on a vertical surface	0	0.6	-
C Vegetated or "green" roofs				
1	Over at least 2" and less than 8" of growth medium	3,300	0.6	1,980.0
2	Over at least 8" of growth medium	0	0.8	-
D Permeable Paving***				
1	Permeable paving over 6" to 24" of soil or gravel	0	0.4	-
2	Permeable paving over at least 24" of soil or gravel	0	0.5	-
E Other				
1	Enhanced tree growth systems***	0	0.4	-
2	Renewable energy generation	0	0.5	-
3	Approved water features	0	0.2	-
		sub-total of sq ft =	3,300	
F Bonuses				
1	Native plant species	0	0.1	-
2	Landscaping in food cultivation	0	0.1	-
3	Harvested stormwater irrigation	0	0.1	-
		Green Area Ratio numerator =	1,980	
*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score. Total square footage of all permeable paving and enhanced tree growth.				

PER SITE ZONING OF C-2-B, REQUIRED GAR SCORE = 0.30



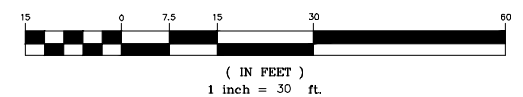
SITE PLAN LEGEND

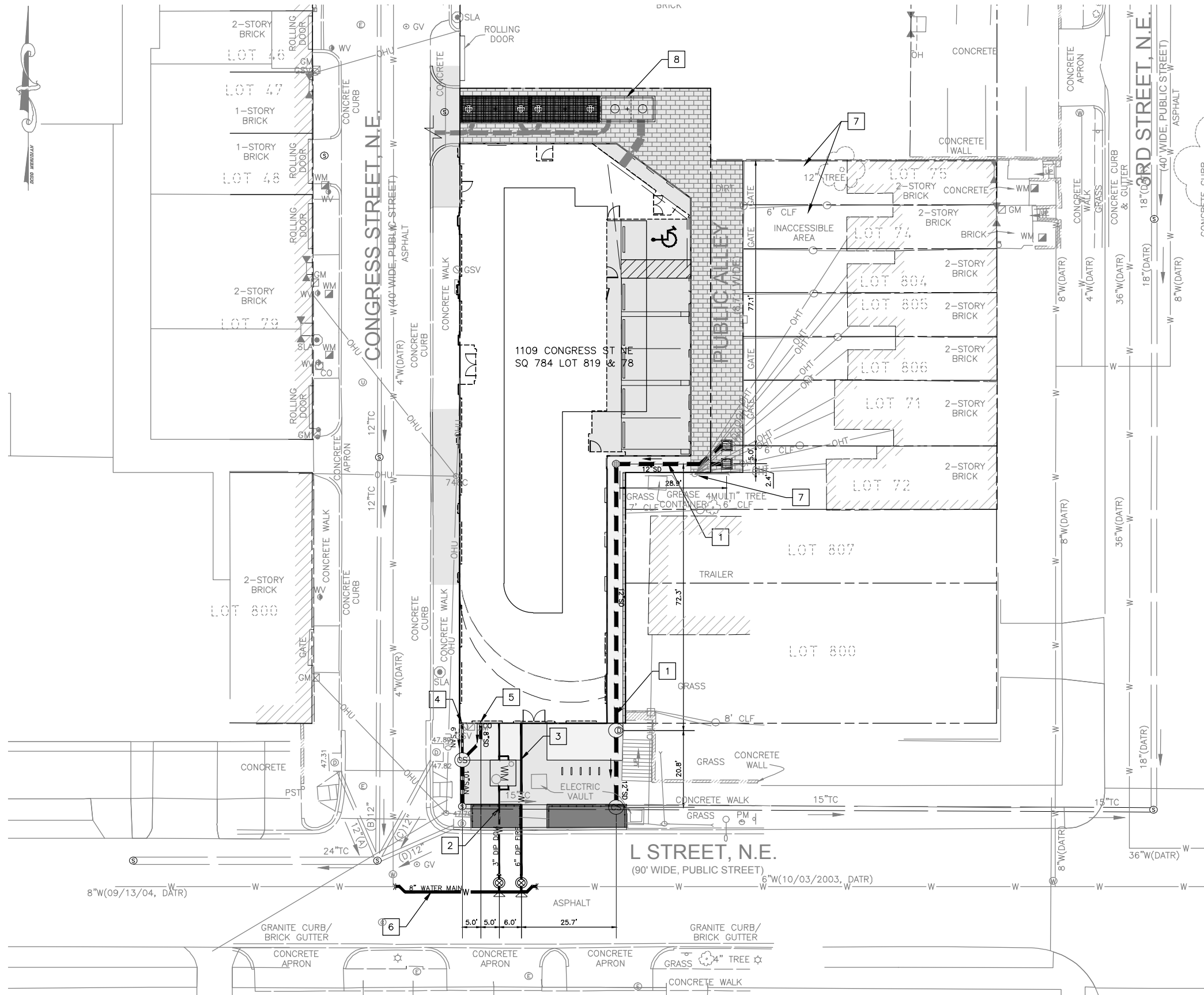
- LANDSCAPED AREA
- PERMEABLE PAVEMENT
- PAVED AREA/CONCRETE WALK
- BIORETENTION AREA
- BUILDING FACE BELOW
- STREET TREE FENCE

SITE PLAN KEYNOTES

- 1 CONCRETE ALLEY ENTRANCE WITH CURB RETURNS TYPE "A" (DDOT STD. 504.01).
- 2 LEVEL 3-8 TERRACE AREAS
- 3 PENTHOUSE LEVEL, TYP.
- 4 GROUND LEVEL, TYP.
- 5 LIMITS OF 2ND LEVEL, TYP.
- 6 GROUND LEVEL COMPACT PARKING
- 7 PUBLIC SPACE BIKE RACK, TYP.
- 8 BRICK CLACK RETAINING WALL (TEMPORARY UNTIL THE DEVELOPMENT OF ADJACENT LOTS), SEE ARCHITECTURAL PLANS, TYP.
- 9 VEHICLE ENTRANCE TO BE CLOSED AND REPLACED WITH SIDEWALK & CONC. CURB
- 10 PERMEABLE PAVEMENT, TYP.
- 11 GROUND LEVEL ADA VAN PARKING SPACE & AISLE
- 12 LANDSCAPED AREA
- 13 CURBSIDE BIORETENTION
- 14 ROOF LEVEL, TYP.
- 15 STAIRCASE ANTICIPATED TO BE REMOVED AND AREA TO BE GRADED IN COORDINATION WITH DEVELOPMENT OF ADJACENT PROPERTY.
- 16 ADJACENT PROPERTY(S) ANTICIPATED TO BE REDEVELOPED

GRAPHIC SCALE





UTILITY PLAN LEGEND

- COMBINED SEWER MANHOLE
- STORM SEWER
- WATER METER VAULT
- WATER VALVE
- 3" DOMESTIC LINE
- 6" FIRE LINE
- CLEANOUT
- 6" PVC SANITARY SEWER
- ALLEY STORM INLET
- STORM MANHOLE
- STORM INLET STRUCTURE

SITE PLAN LEGEND

- LANDSCAPED AREA
- PERMEABLE PAVEMENT
- PAVED AREA/CONCRETE WALK
- BIORETENTION AREA
- BUILDING FACE BELOW
- STREET TREE FENCE

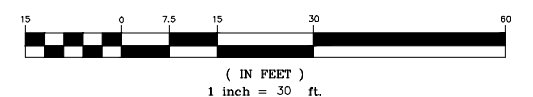
UTILITY PLAN KEYNOTES

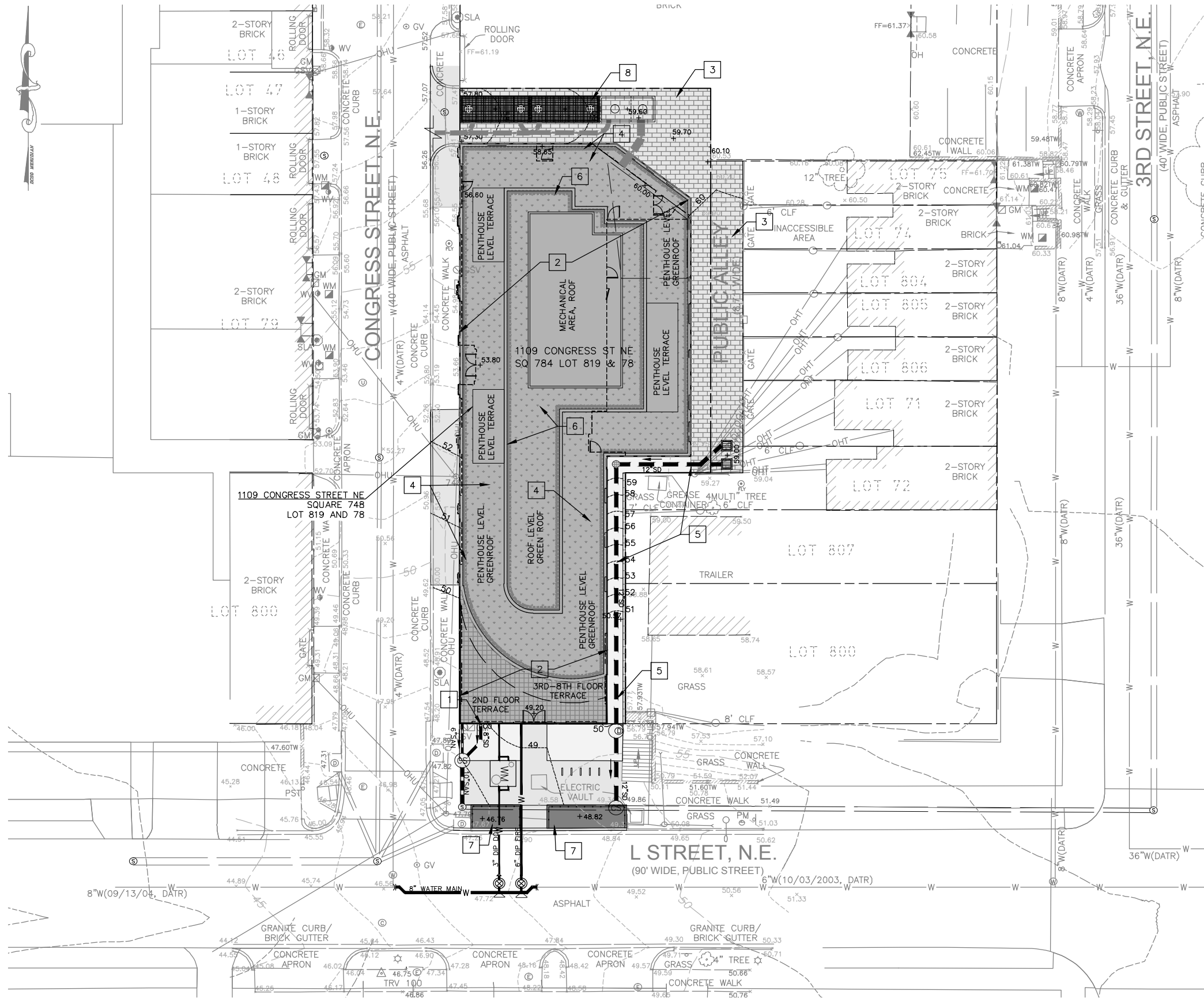
- 1 2 PRIVATE ALLEY STORM INLETS & 12" SCH40 PVC PIPE TO EX. 15" COMBINED SEWER ON L STREET NE
- 2 3" DIP DOMESTIC WATER SERVICE:
8"x6" DIP TEE W/ CONCRETE TRUST BLOCK
6" GATE VALVE AND CASING
6" X 3" DIP REDUCER
3" DOMESTIC WATER METER & VAULT
3" DIP LATERAL CONNECTION TO BUILDING
- 3 6" DIP FIRE SERVICE:
8" X 6" DIP TEE W/ THRUST BLOCK
6" GATE VALVE & CASING
6" DIP LATERAL CONNECTION TO BUILDING
- 4 6" PVC SANITARY SEWER SERVICE:
6" PVC LATERAL CONNECTION TO BUILDING
CONCRETE CLEANOUT MANHOLE
10" PVC LATERAL
10" CONNECTION TO EXISTING MANHOLE
- 5 8" PVC STORM SERVICE:
8" PVC LATERAL CONNECTION TO BUILDING
8" STORM CLEANOUT
8" PVC LATERAL
8" CONNECTION TO CONCRETE MANHOLE
- 6 8" WATER MAIN REPLACEMENT
- 7 PROVIDE COMMUNICATION UTILITY SERVICE TO EXISTING UTILITY POLE AND LOTS 74 & 75, PER UTILITY COMPANY REQUIREMENTS (NOT DEPICTED)
- 8 PEPCO TRANSFORMER(S) "ASSUMED". SEE NOTE 2 IN UTILITY NOTES BELOW.

UTILITY NOTES:

1. PROPOSED UTILITY DESIGN IS SCHEMATIC AND SUBJECT TO FINAL DESIGN AND AGENCY/ UTILITY COMPANY REVIEW. UTILITY LOCATIONS AND SIZES SHOWN ARE APPROXIMATE.
2. FOR THE PEPCO TRANSFORMER(S), THE ACTUAL LOCATION TO BE DETERMINED IN CONSULTATION WITH PEPCO BASED ON FINAL ENGINEERING PLANS, ELECTRICAL SERVICE NEEDS, AND PEPCO REQUIREMENTS.

GRAPHIC SCALE





UTILITY PLAN LEGEND

- COMBINED SEWER MANHOLE
- STORM SEWER
- WATER METER VAULT
- WATER VALVE
- 3" DOMESTIC LINE
- 6" FIRE LINE
- CLEANOUT
- 6" PVC SANITARY SEWER
- ALLEY STORM INLET
- STORM MANHOLE
- STORM INLET STRUCTURE

SITE PLAN LEGEND

- LANDSCAPED AREA
- PERMEABLE PAVEMENT
- PAVED AREA/CONCRETE WALK
- BIORETENTION AREA
- BUILDING FACE BELOW
- STREET TREE FENCE
- ROOF TERRACE
- GREEN ROOF
- BUILDING
- GREEN ROOF BALLAST

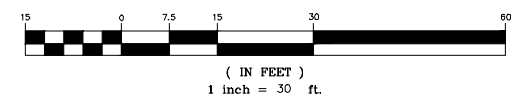
CONCEPT STORMWATER MANAGEMENT PLAN

- 1 8" PVC STORM SEWER CONNECTION TO COMBINED SEWER MANHOLE
- 2 LIMITS OF BUILDING
- 3 PERMEABLE PAVING, TYP.
- 4 PENTHOUSE GREEN ROOF WITH 1' BALLAST PERIMETER, TYP.
- 5 2 PRIVATE ALLEY INLETS & 12" SCH40 PVC PIPE TO EX. 15" COMBINED SEWER ON L STREET NE
- 6 ROOF LEVEL GREEN ROOF WITH 1' BALLAST PERIMETER, TYP.
- 7 PUBLIC SPACE CURBSIDE BIORETENTION
- 8 PEPCO VAULTS (ASSUMED)

STORMWATER MANAGEMENT NARRATIVE

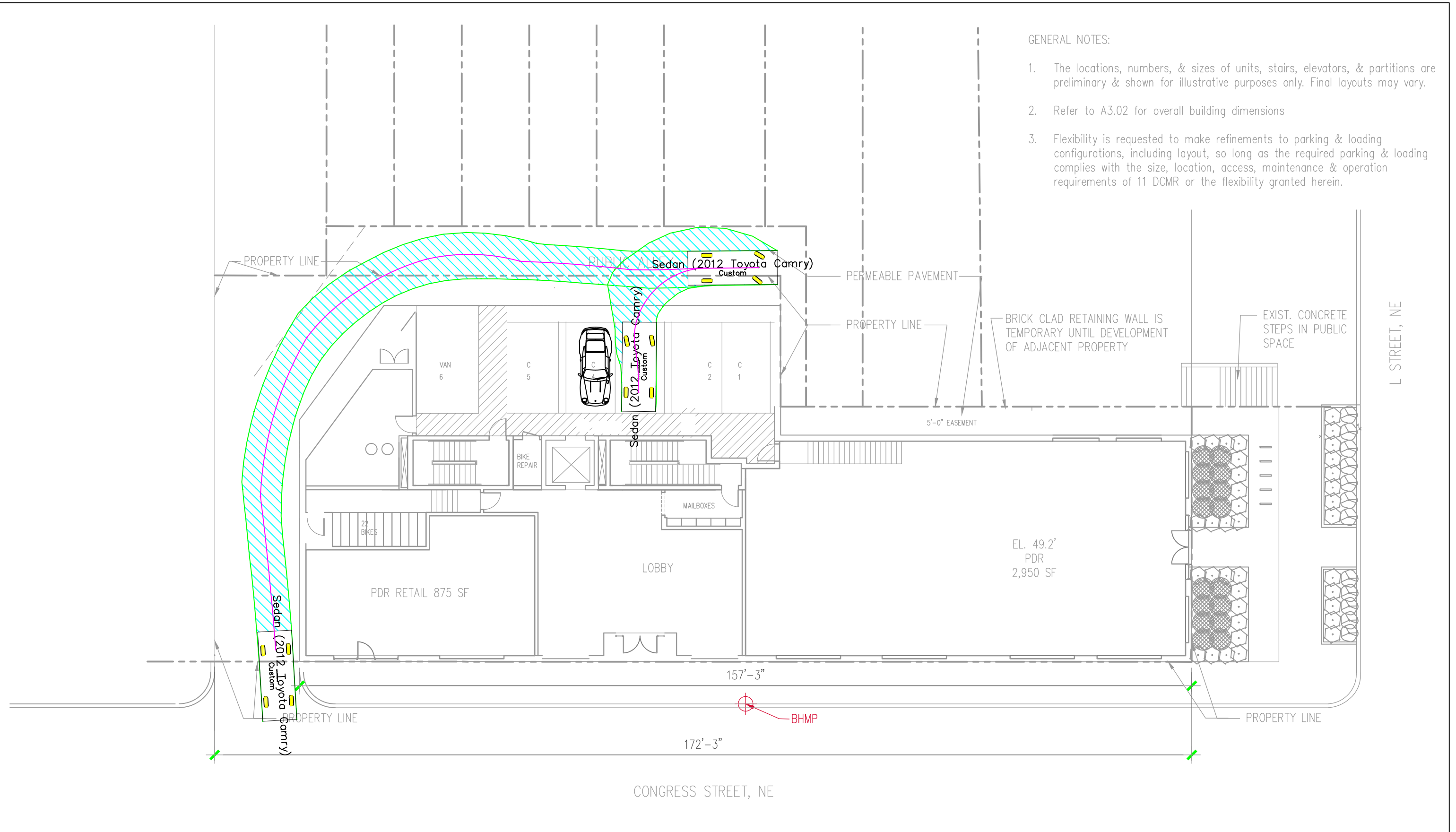
STORMWATER MANAGEMENT AND GREEN AREA RATIO REQUIREMENTS WILL BE MET ON PRIVATE PROPERTY WITH GREEN ROOFS AND PERMEABLE PAVEMENT. PUBLIC SPACE STORMWATER MANAGEMENT WILL BE MET BY CURBSIDE BIORETENTION AND LID MEASURES AS OUTLINED IN THE DDOT GREEN INFRASTRUCTURE STANDARDS MANUAL. TO ADDRESS DRAINAGE DUE TO CLOSING OF THE PUBLIC ALLEY, PRIVATE STORM INLETS AND A STORM DRAIN SYSTEM WILL BE CONSTRUCTED PREDOMINANTLY ON PRIVATE PROPERTY TO SERVE THE PUBLIC ALLEY AND CONVEY RUNOFF TO THE EXISTING 15" COMBINED SEWER MAIN IN L STREET, NE.

GRAPHIC SCALE



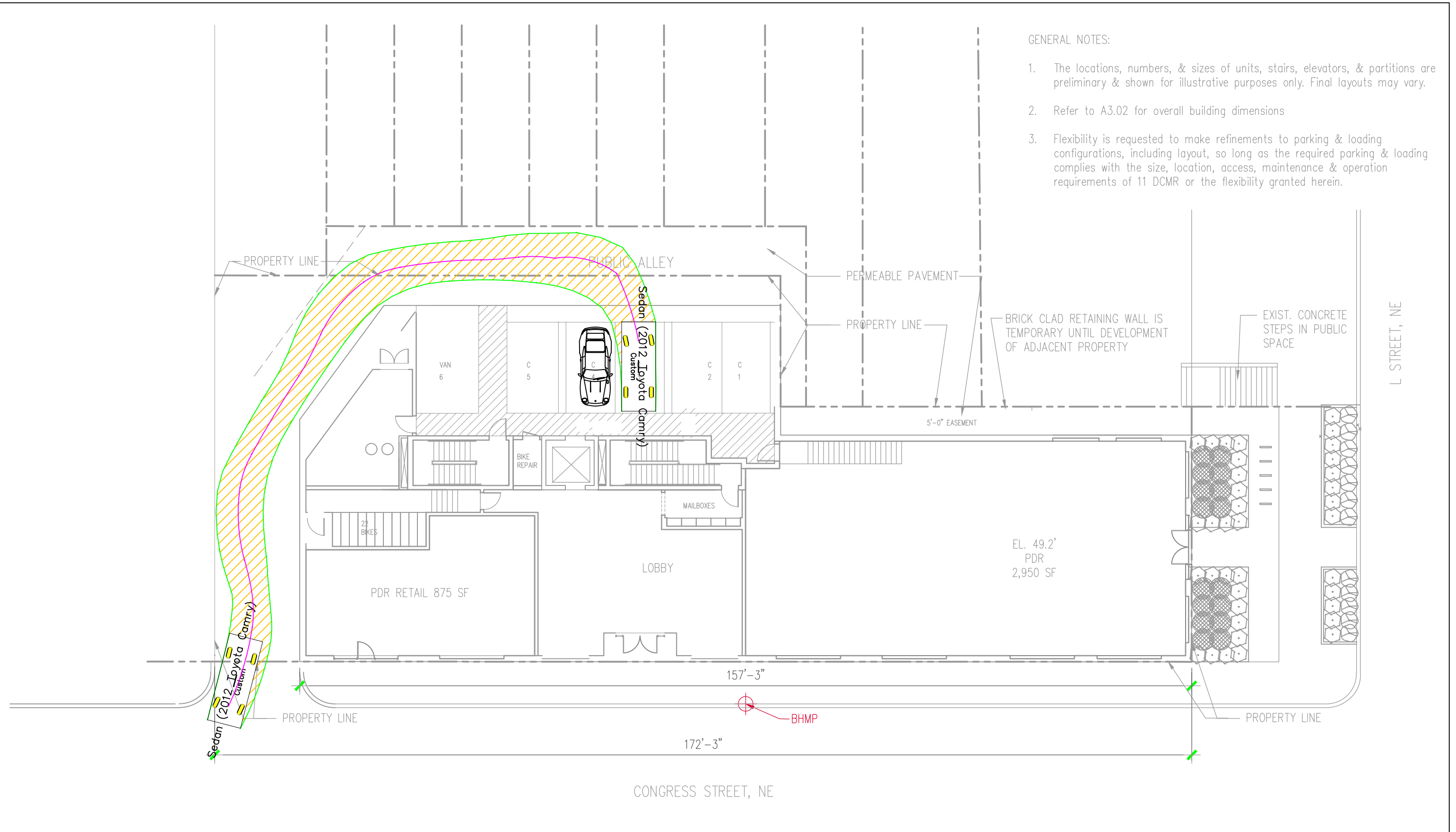
GENERAL NOTES:

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2. Refer to A3.02 for overall building dimensions
3. Flexibility is requested to make refinements to parking & loading configurations, including layout, so long as the required parking & loading complies with the size, location, access, maintenance & operation requirements of 11 DCMR or the flexibility granted herein.



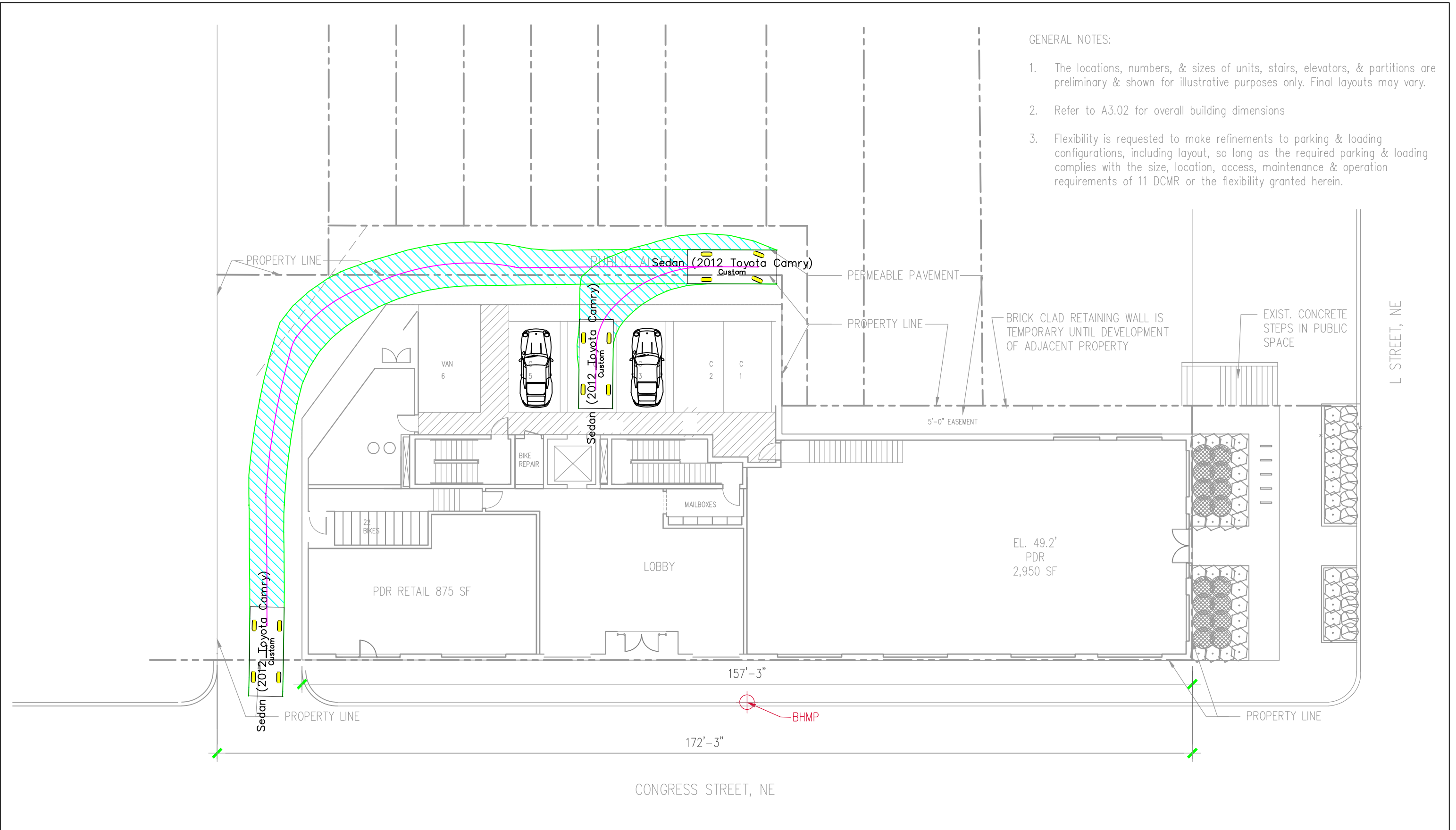
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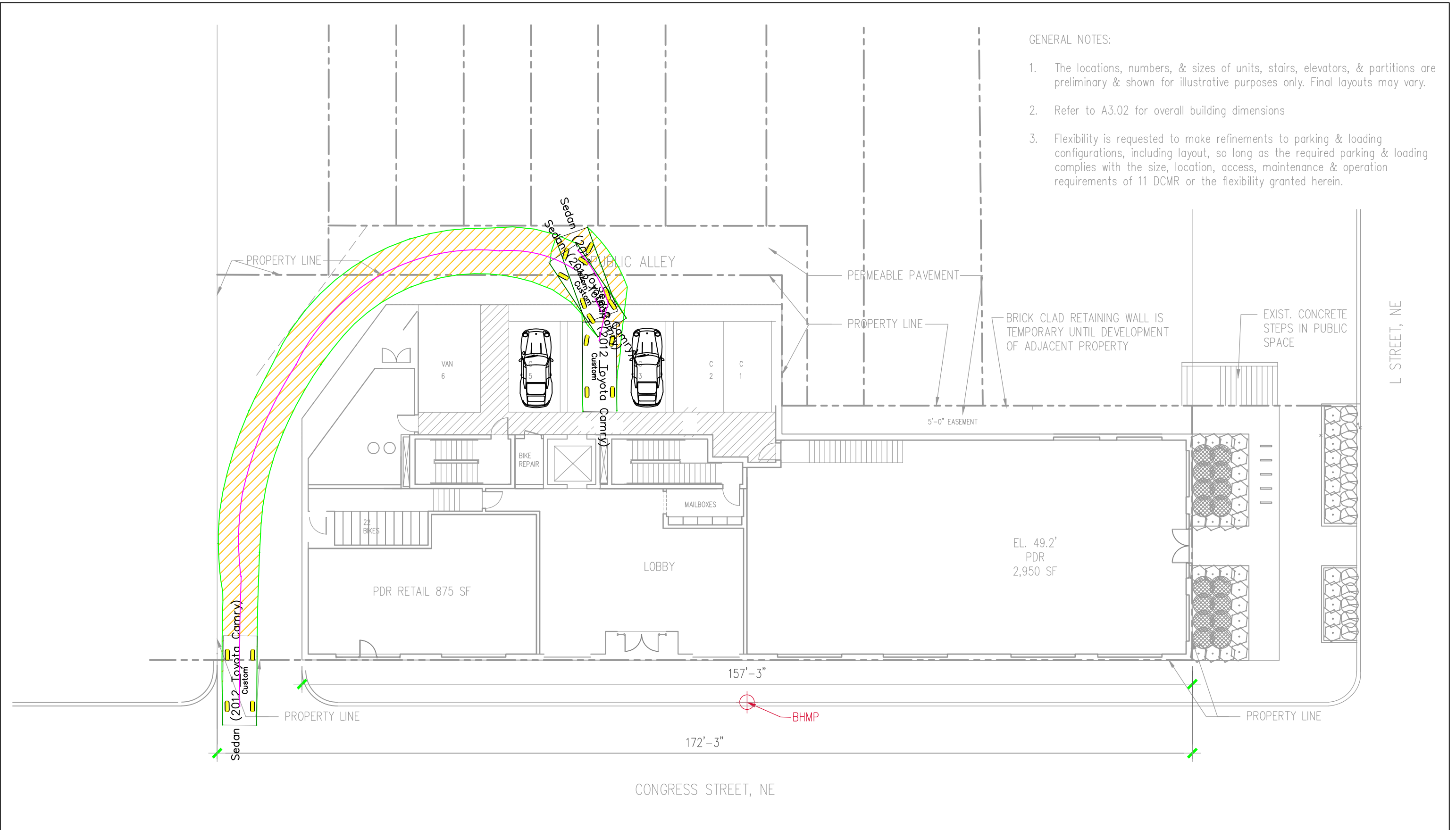
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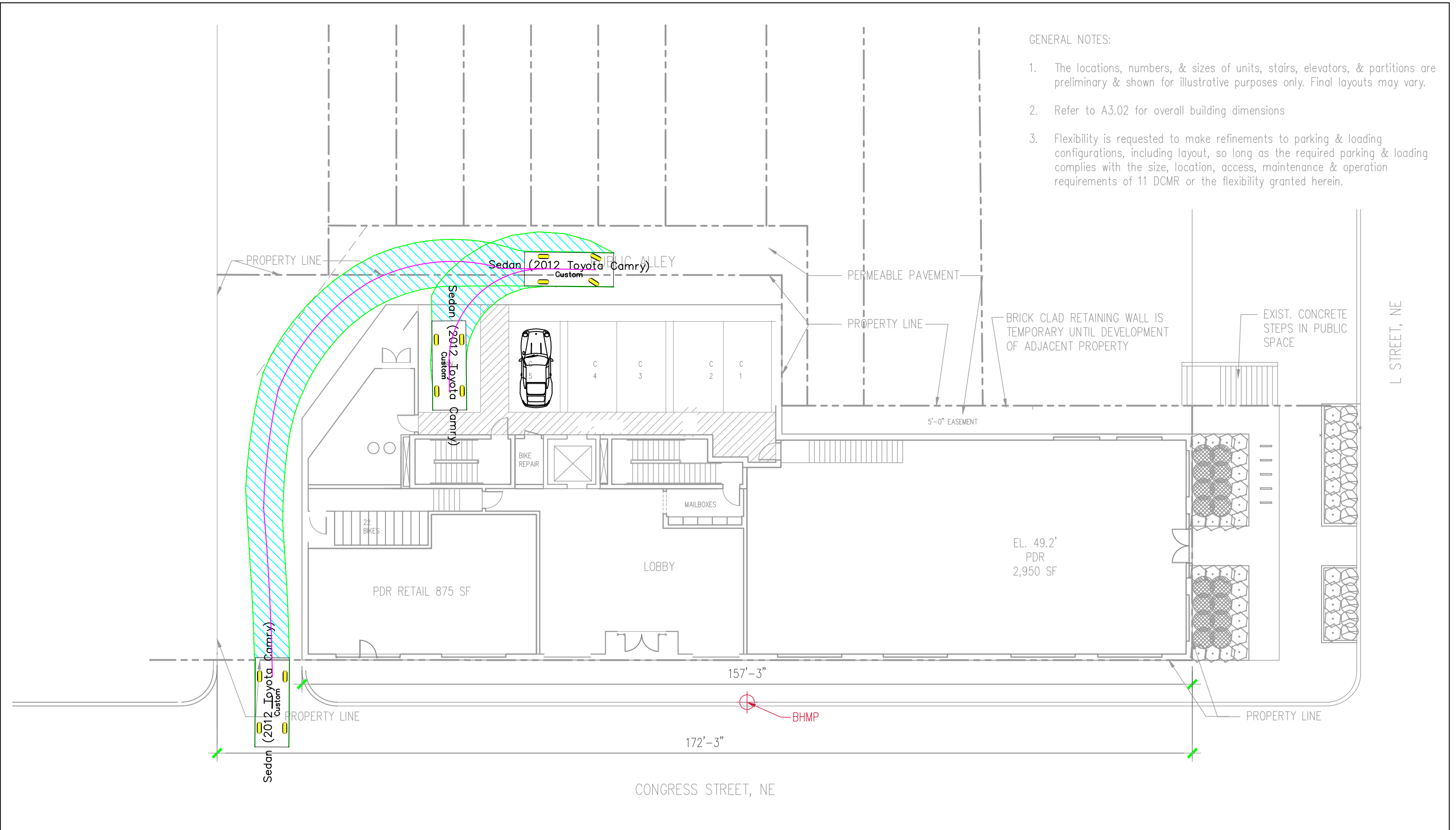
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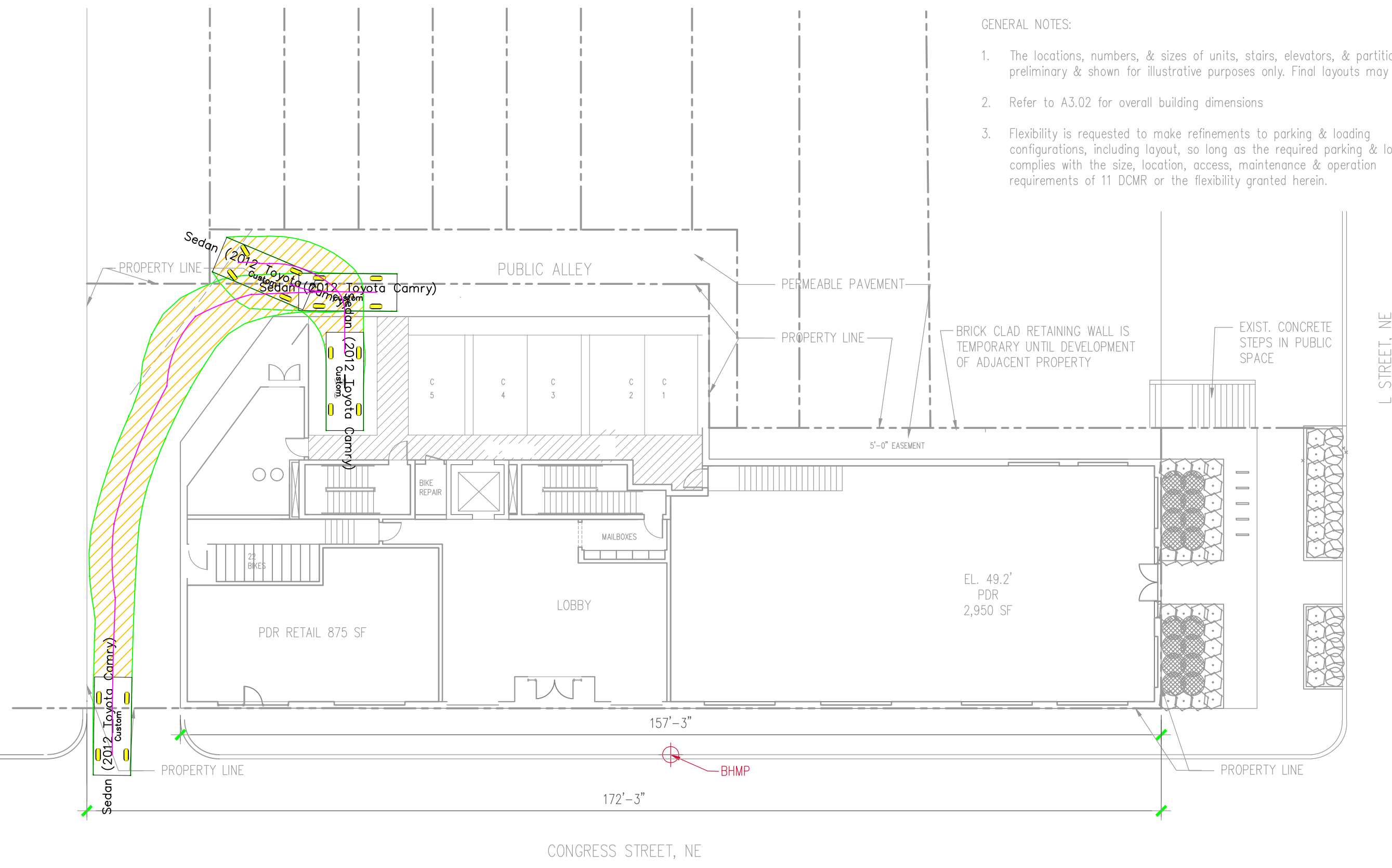
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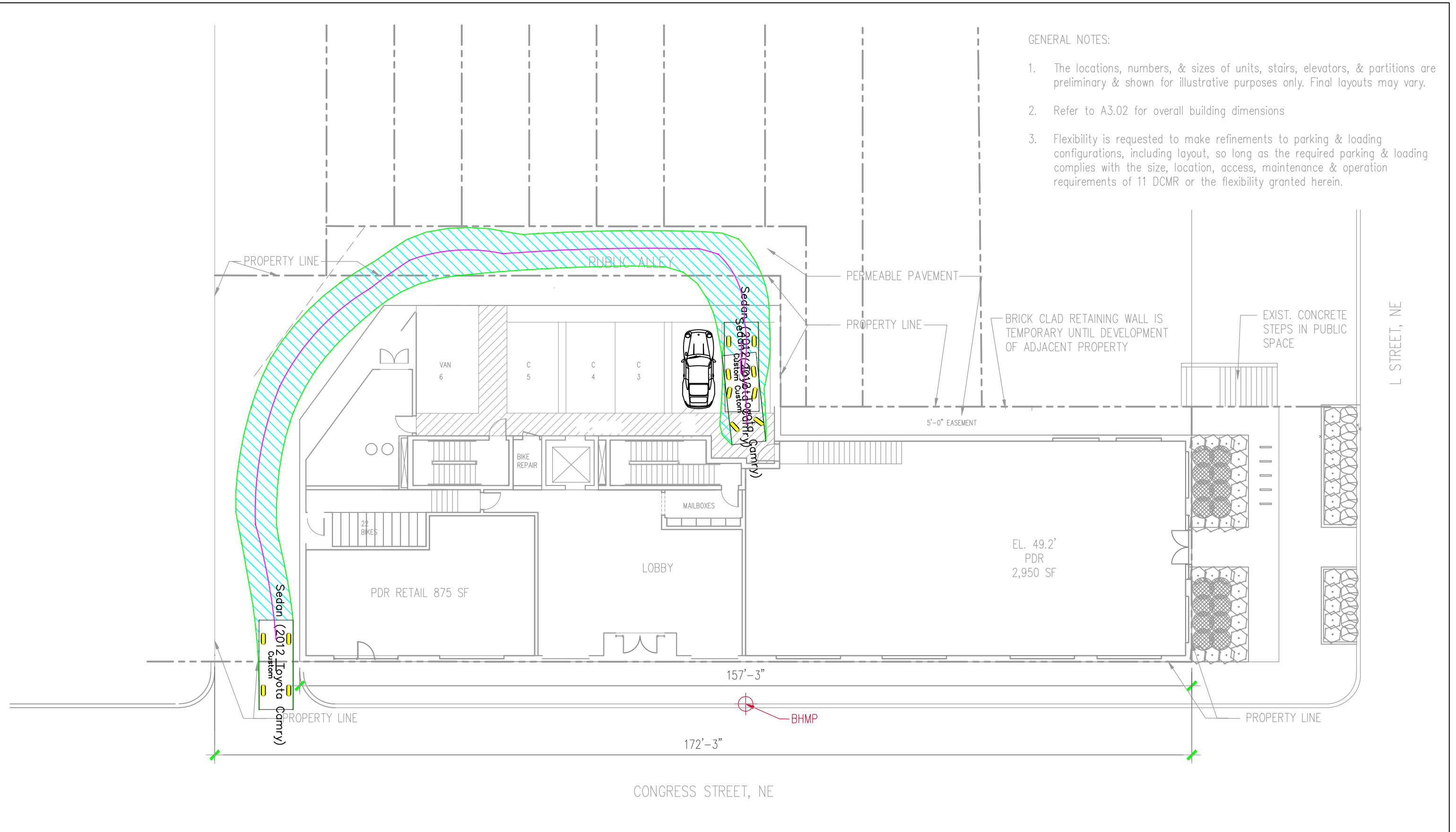
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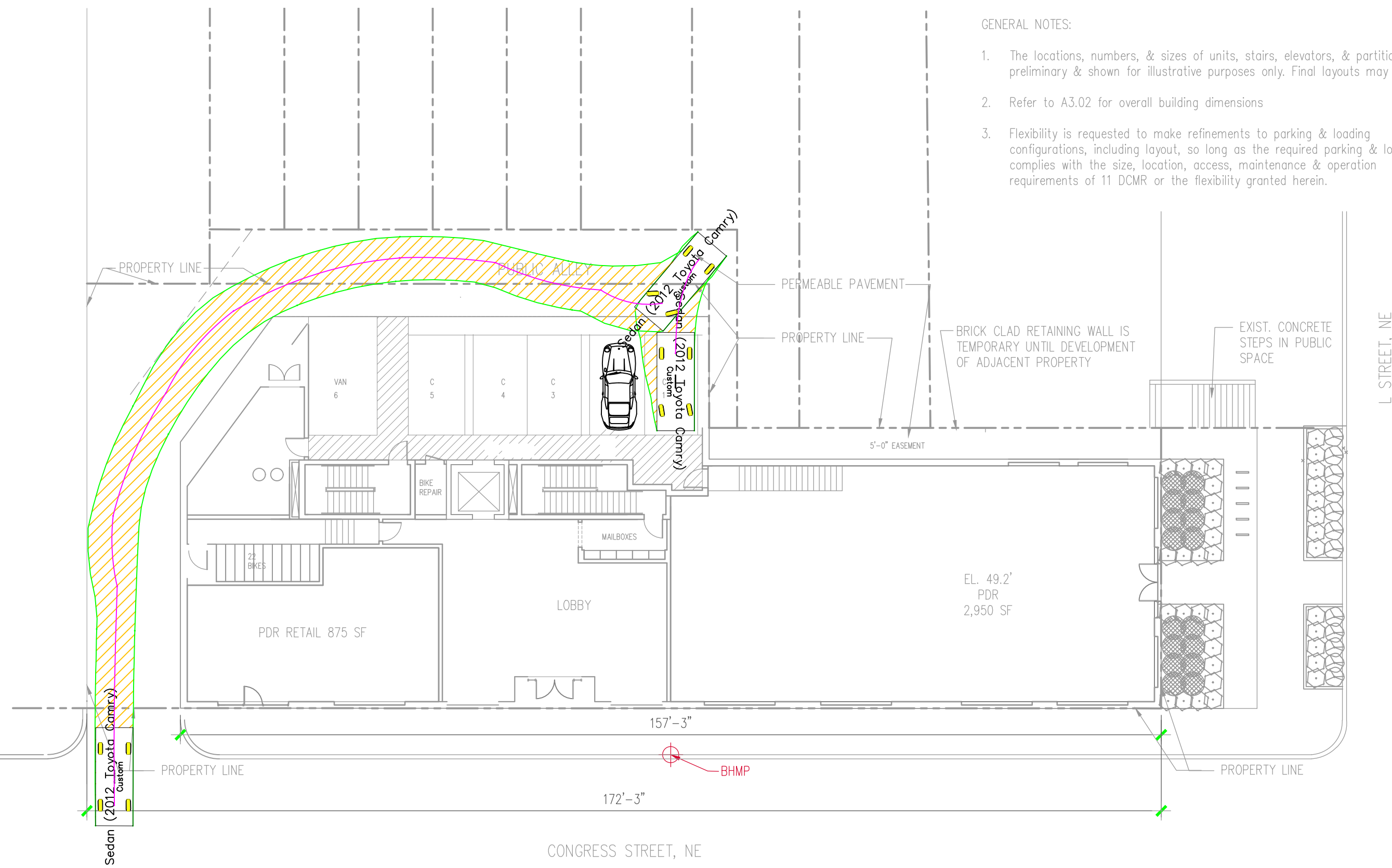
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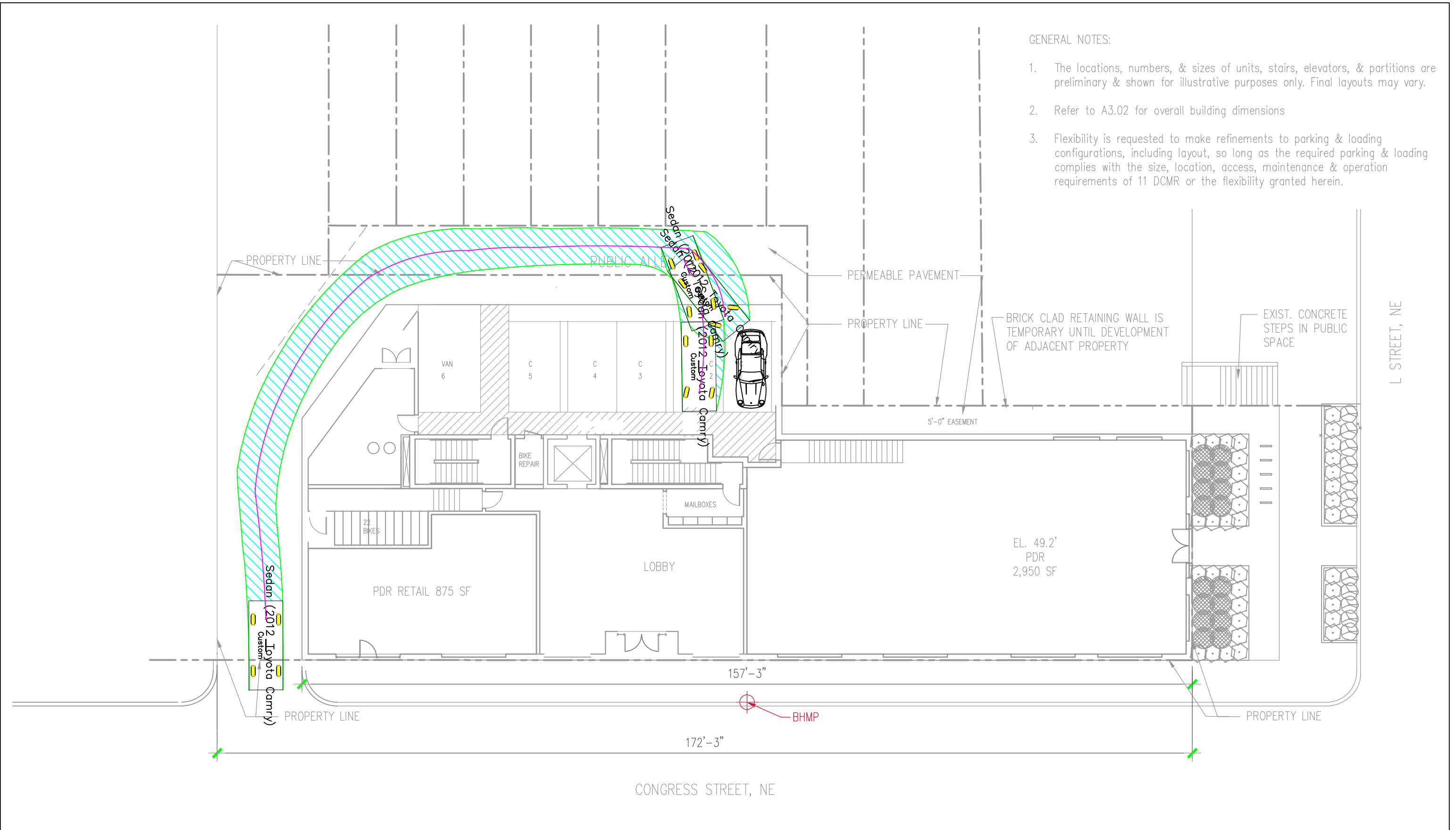
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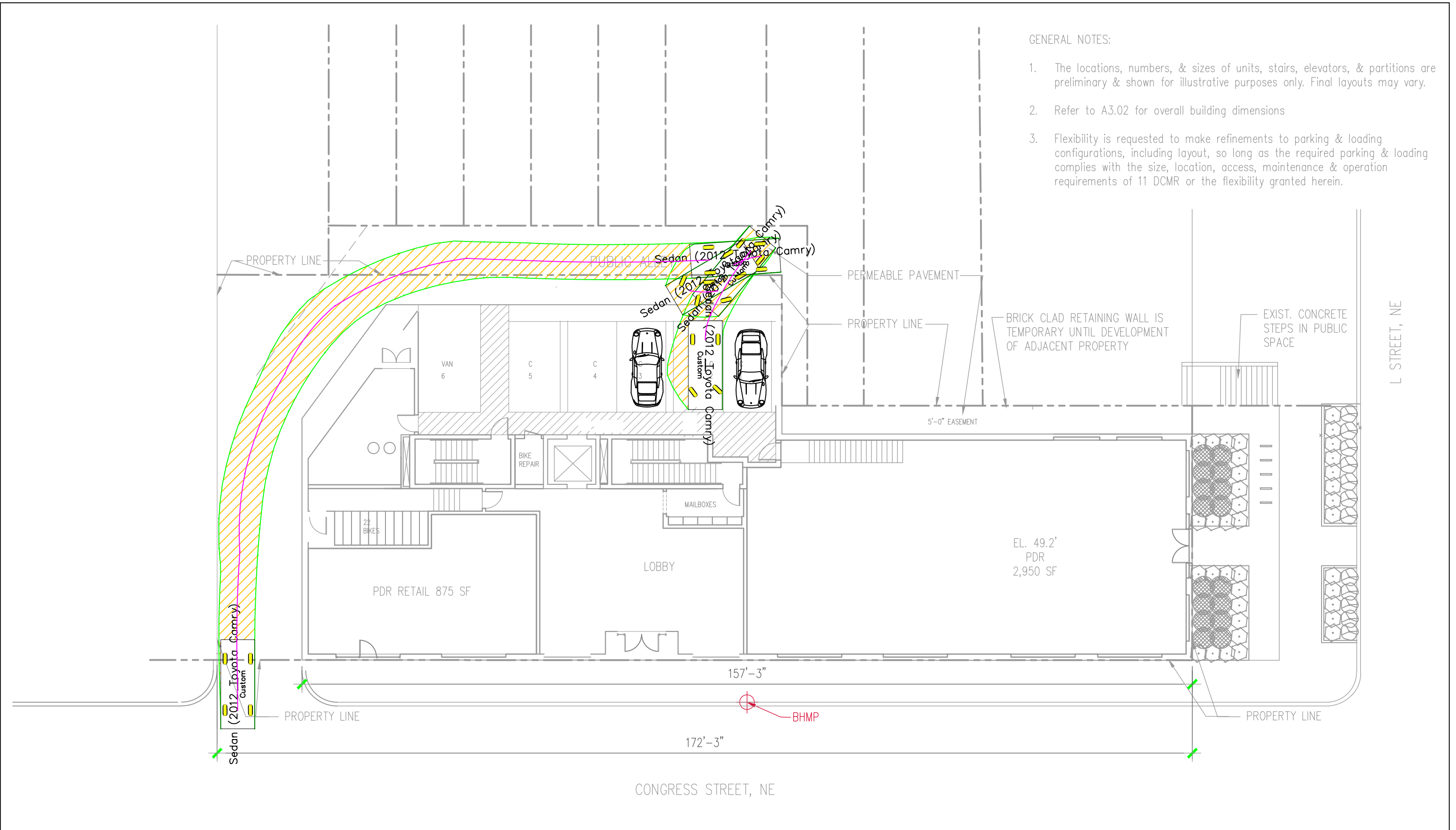
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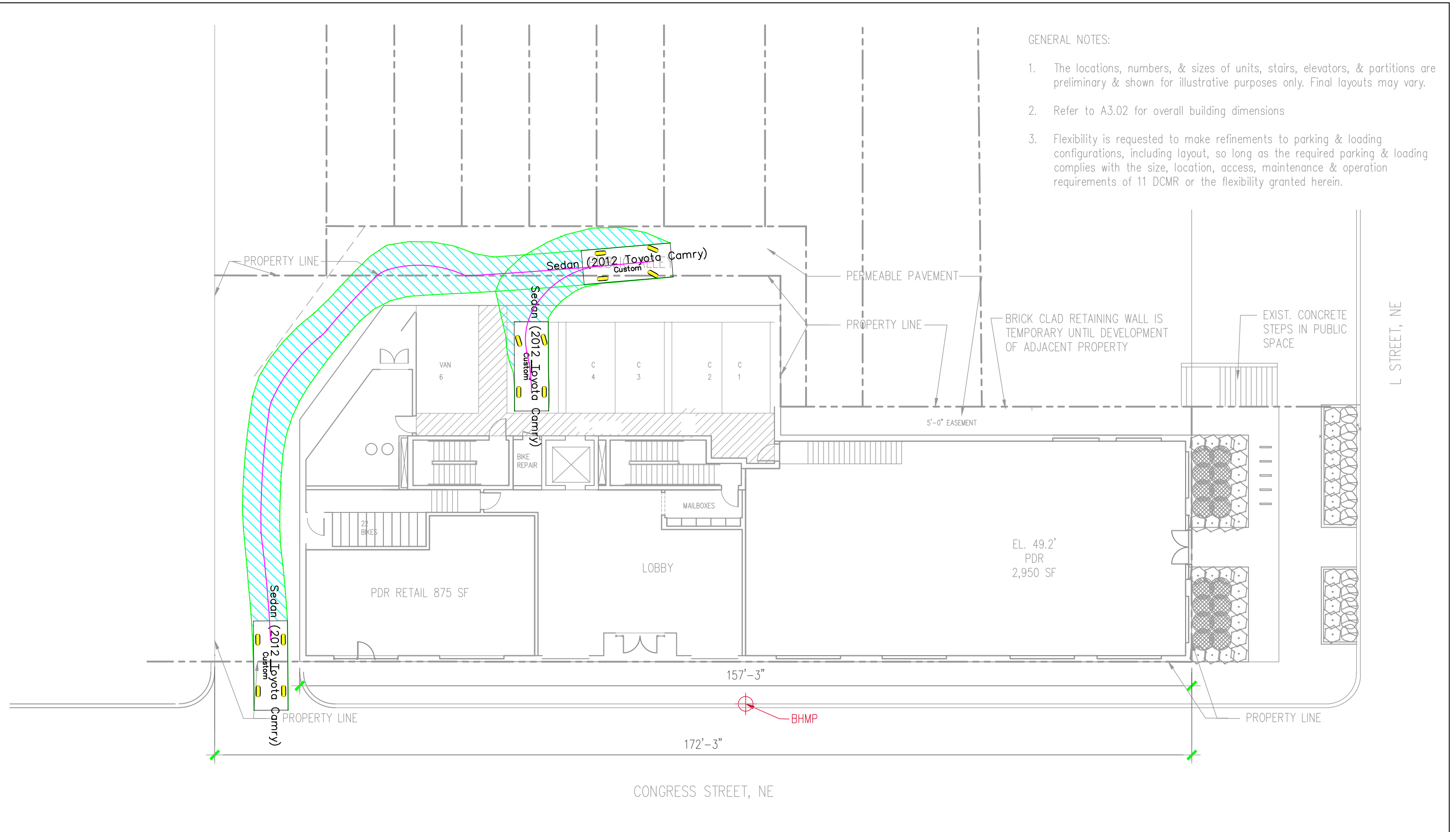
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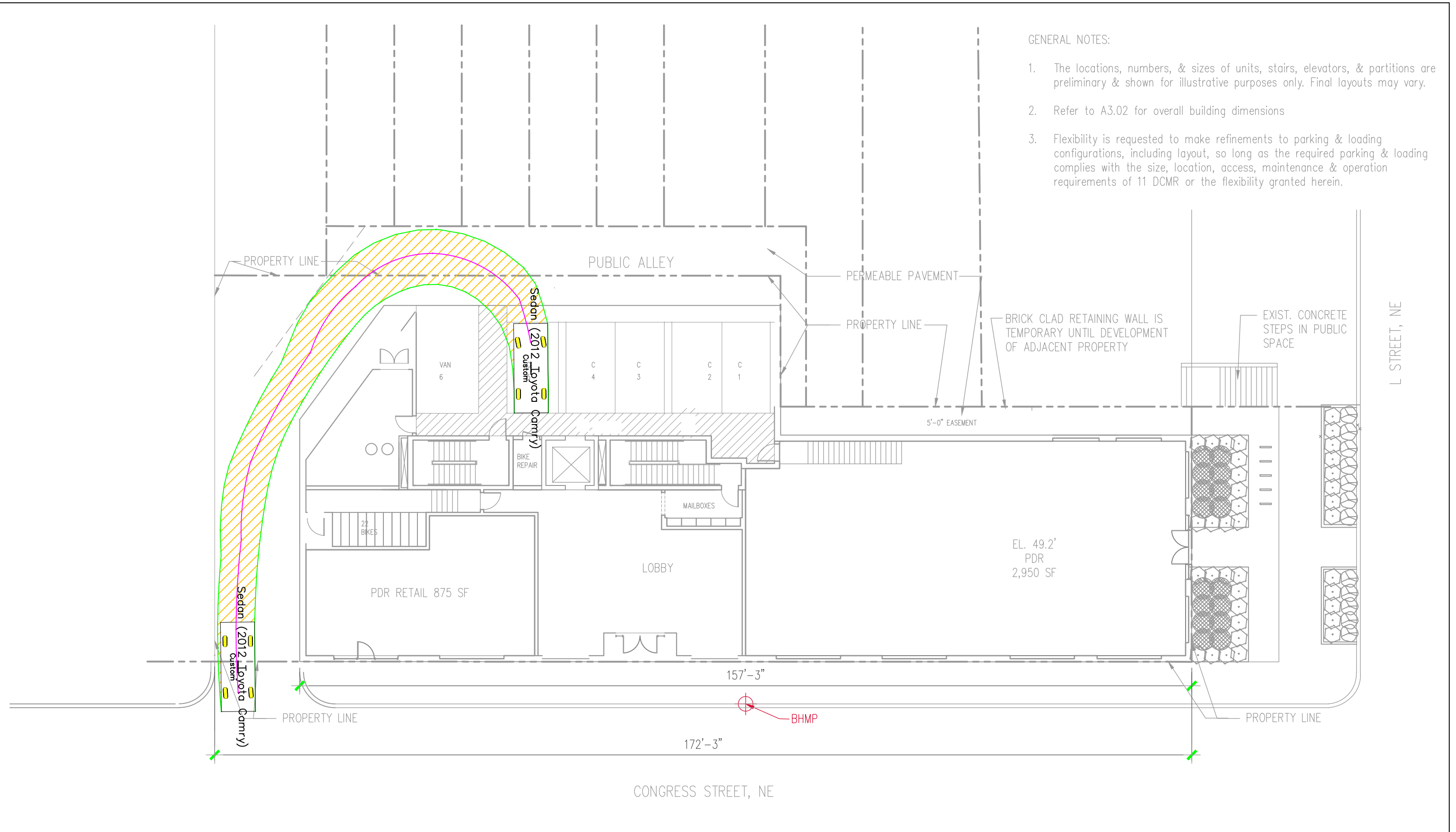
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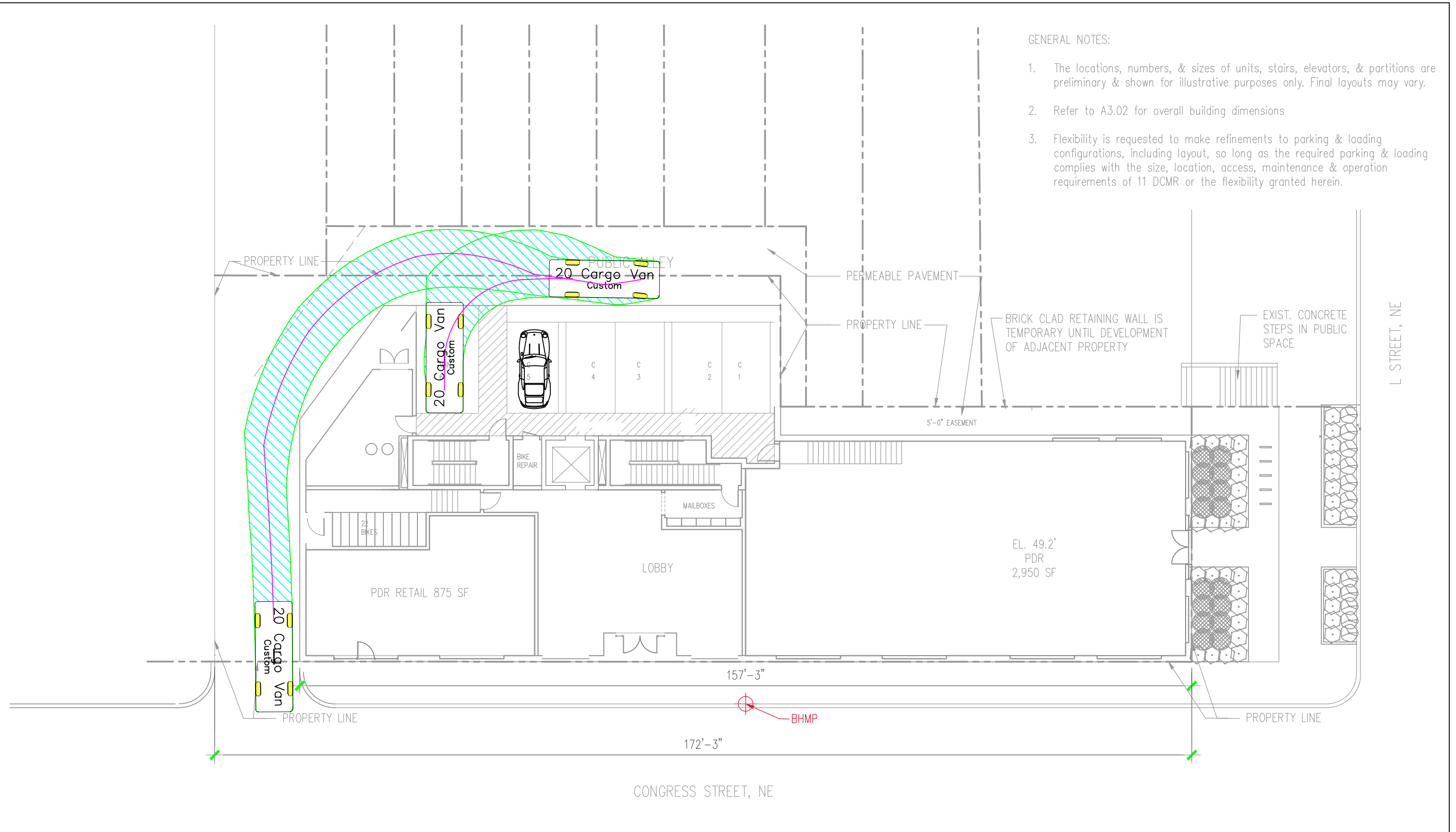
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